

Elevation A 2 Car - Sheet List	
Sheet Number	Sheet Name
ElevA-2Car-Pg1	Front & Rear Elevations
ElevA-2Car-Pg2	Side Elevations
ElevA-2Car-Pg3	1st Floor Plan
ElevA-2Car-Pg4	2nd Floor Plan
ElevA-2Car-Pg5	Roof Plan
ElevA-2Car-Pg6	Electrical & Flooring Plan
Pg7	Interior Elevations
Pg8	Slab Penetrations



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



① Front Elevation - Elev A - 2 Car Garage  
1/8" = 1'-0"



② Rear Elevation - Elev A - 2 Car Garage  
1/8" = 1'-0"

Area Schedule (Elev A 2Car)	
Name	Area
<b>Heated</b>	
1st Floor	708 SF
2nd Floor	1002 SF
1710 SF	
<b>Unheated</b>	
Front Porch	48 SF
Garage	428 SF
476 SF	
<b>Under Roof</b>	<b>2186 SF</b>

1710 RH - Elevation A 2Car

Front & Rear Elevations

Lot #:

Job #:

Address:

Community:

Last Revision Date:

11-29-23

Sheet #:

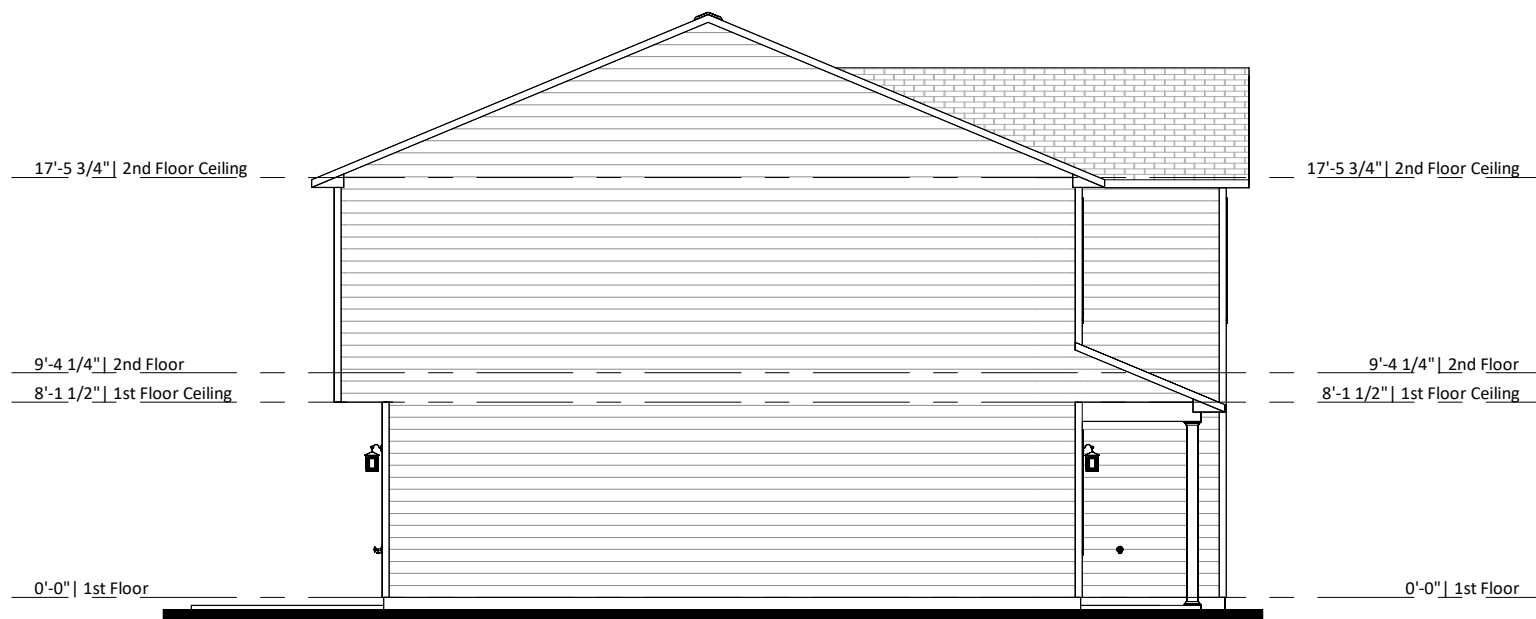
ElevA-2Car-Pg1



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① Right Elevation - Elev A - 2 Car Garage  
1/8" = 1'-0"



② Left Elevation - Elev A - 2 Car Garage  
1/8" = 1'-0"

1710 RH - Elevation A 2Car

Side Elevations

Lot #:

Job #:

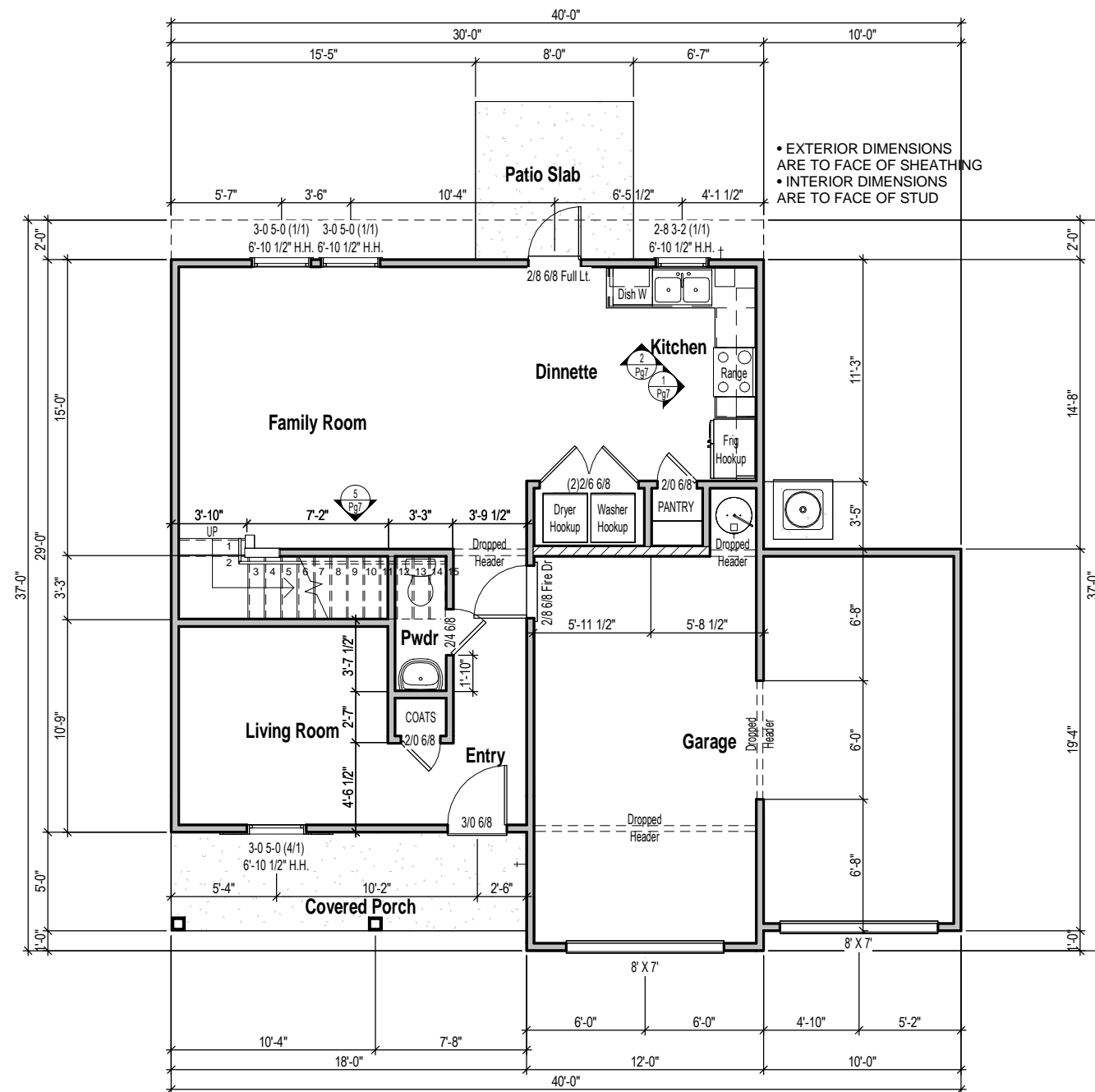
Address:

Community:

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11-29-23

Sheet #:  
ElevA-2Car-Pg2

TABLE R302.6 Dwelling/Garage Separation	
Separation	Material
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor-ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent



1 1st Floor Plan - Elev A - 2 Car Garage  
 1/8" = 1'-0"



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1710 RH - Elevation A 2Car

1st Floor Plan

Lot #:

Job #:

Address:

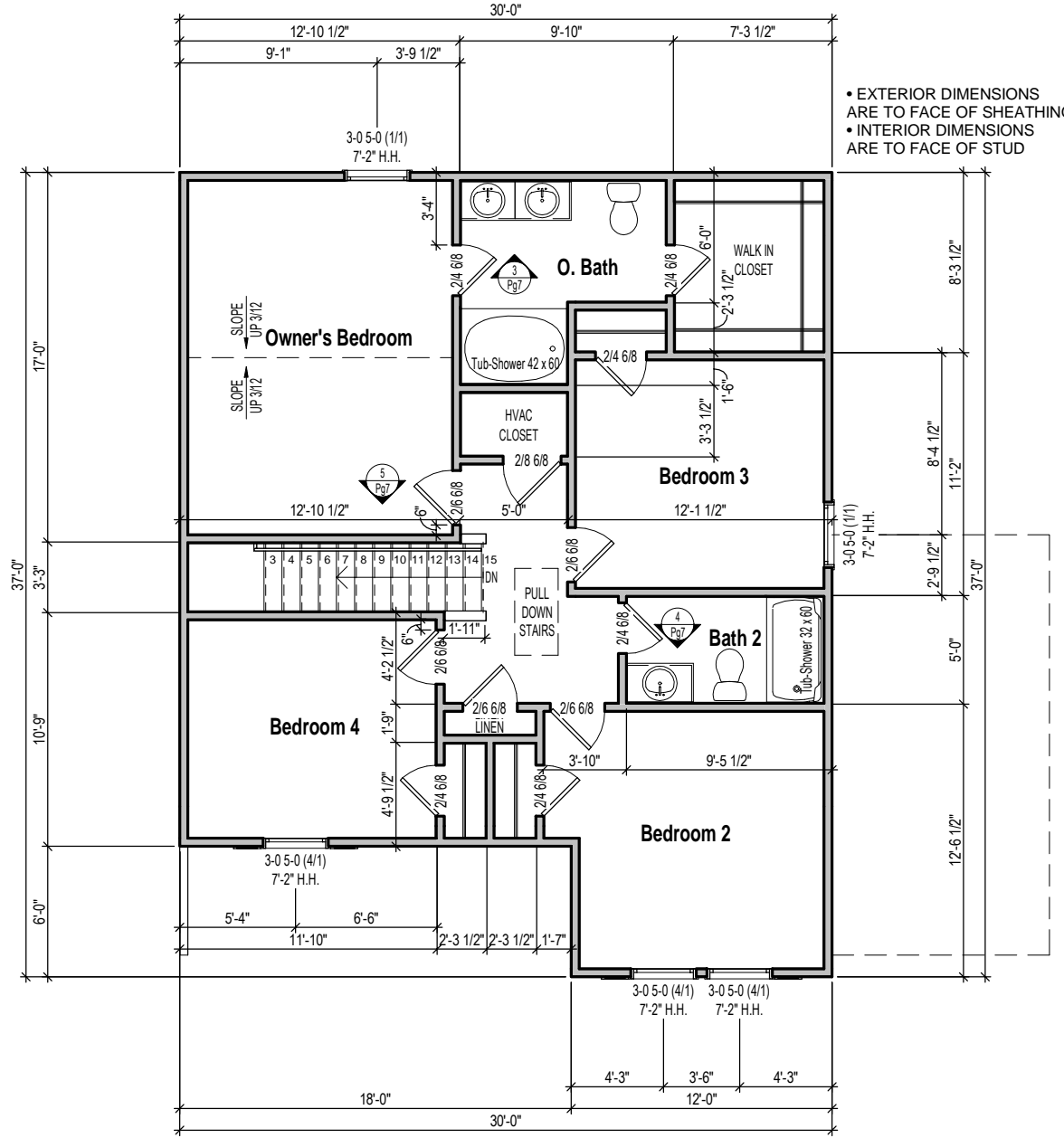
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Sheet #:  
 ElevA-2Car-Pg3



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1 2nd Floor Plan - Elev A - 2 Car Garage  
 1/8" = 1'-0"

1710 RH - Elevation A 2Car

2nd Floor Plan

Lot #:

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Address:

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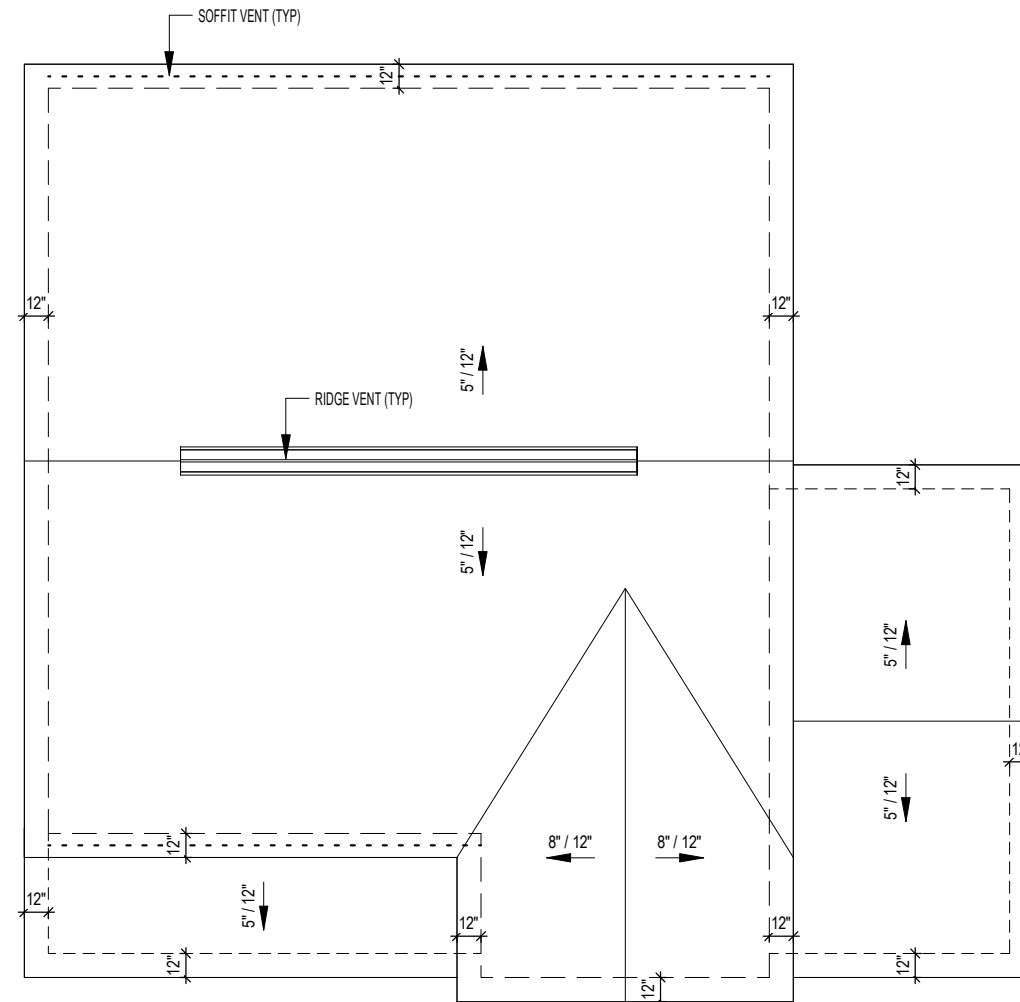
Sheet #:

ElevA-2Car-Pg4

### Area Schedule (Attic Elev A)

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1140 SF	547	438	274	285	282	567	19	0	47

- CALCS BASED ON THE FOLLOWING VALUES**
- Ridge Vents = 15 in<sup>2</sup> of net free area per linear foot
  - Roof Vents = 50 in<sup>2</sup> of net free area per unit
  - Soffit Vents = 6 in<sup>2</sup> of net free area per square foot



① Roof Plan - Elev A - 2 Car Garage  
1/8" = 1'-0"



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1710 RH - Elevation A 2Car

Roof Plan

Lot #:

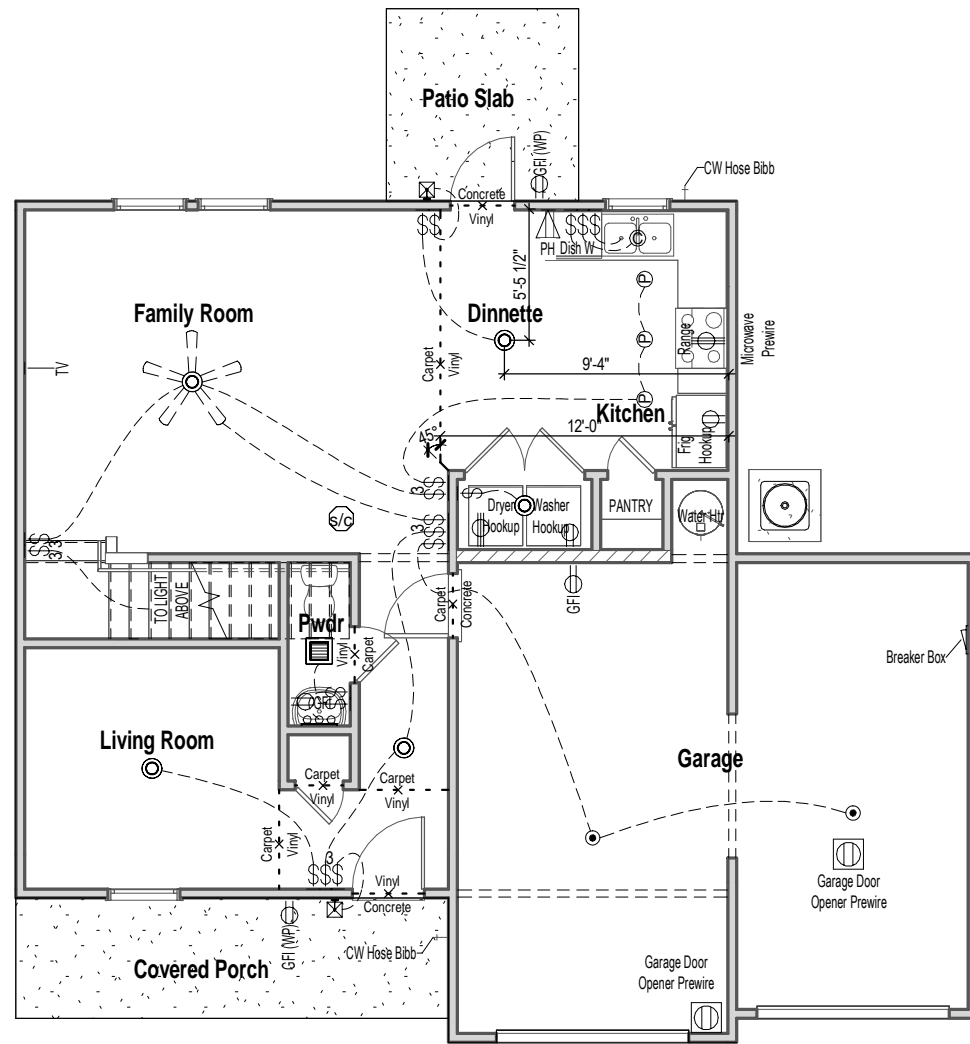
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Address:

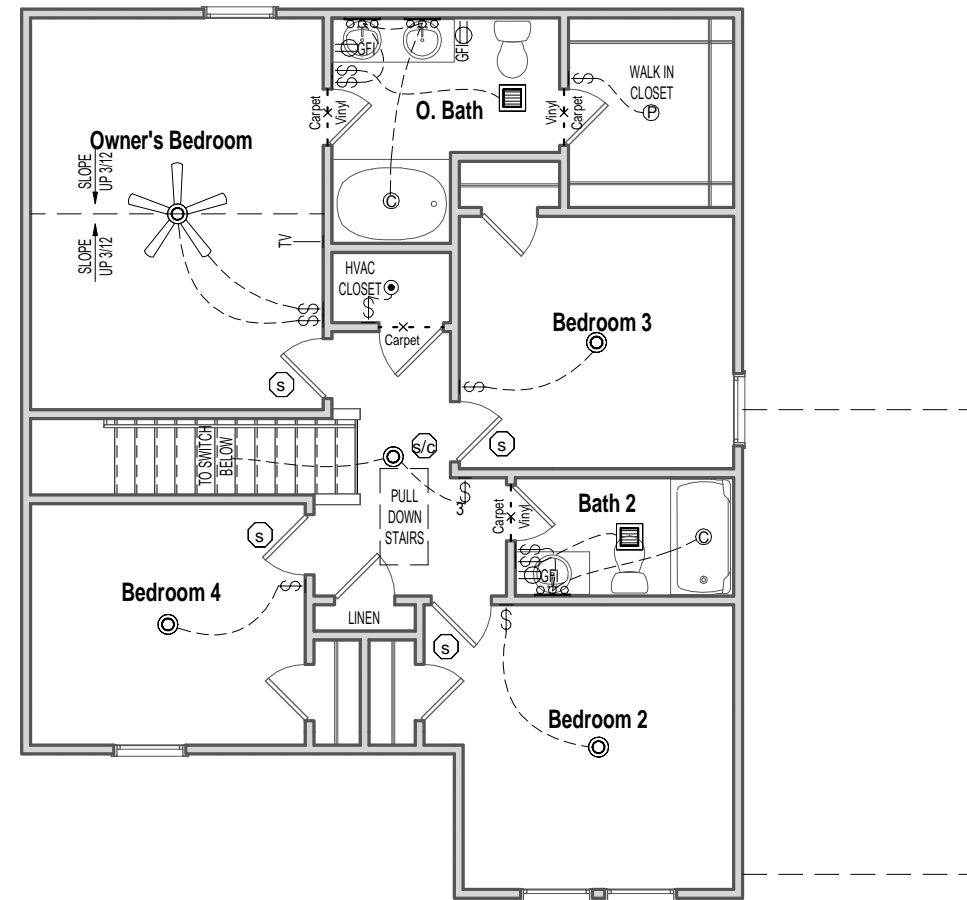
Community:

Last Revision Date:  
11-29-23

Sheet #:  
ElevA-2Car-Pg5



① 1st Floor Electrical - Elev A - 2 Car Garage  
1/8" = 1'-0"



② 2nd Floor Electrical - Elev A - 2 Car Garage  
1/8" = 1'-0"

WALL MOUNTED FIXTURES			CEILING MOUNTED FIXTURES		
	OUTLET - 110V		OUTLET - TV		WALL LIGHT
	OUTLET - 110V GROUND FAULT INTERRUPTER		OUTLET - PHONE		18" LIGHT BAR
	OUTLET - 110V GROUND FAULT INTERRUPTER WATER PROOF		SWITCH - SINGLE POLE		COACH LIGHT - FRONT DOOR
	OUTLET - 220V		SWITCH - 3 WAY		COACH LIGHT - REAR DOOR
	FLUORESCENT 1'x4' 2 LAMPS		SWITCH - 4 WAY		KEYLESS
					FLUSH MOUNT W-FAN PREWIRE
					FLUSH MOUNT W-FAN

Outlets shown on the electrical layout are in addition to the outlets that shall be provided in accordance with International Residential Code Sections E3901.2 through E3901.11.



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1710 RH - Elevation A 2Car

Electrical & Flooring Plan

Lot #:

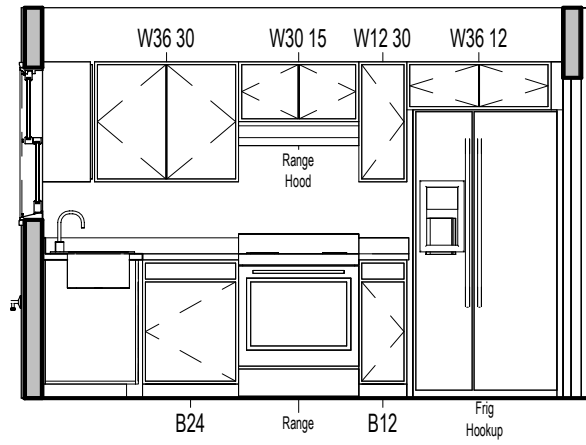
Job #:

Address:

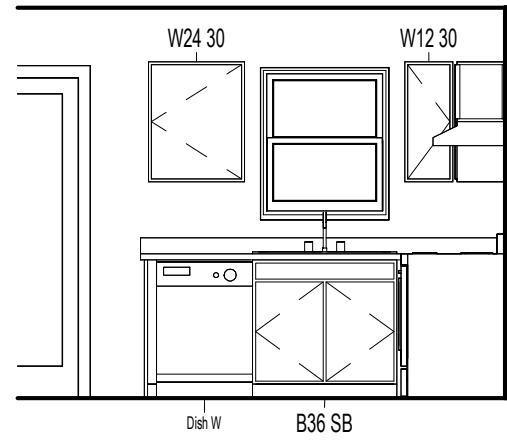
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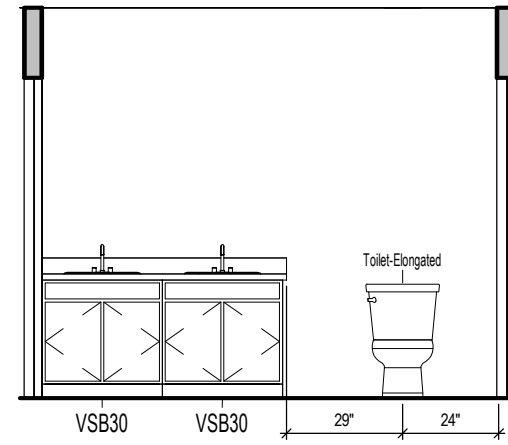
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ElevA-2Car-Pg6



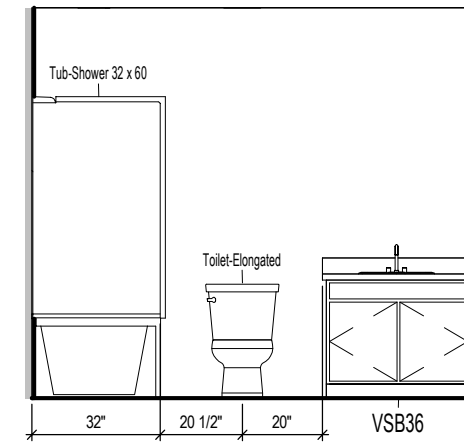
1 Kitchen 1  
1/4" = 1'-0"



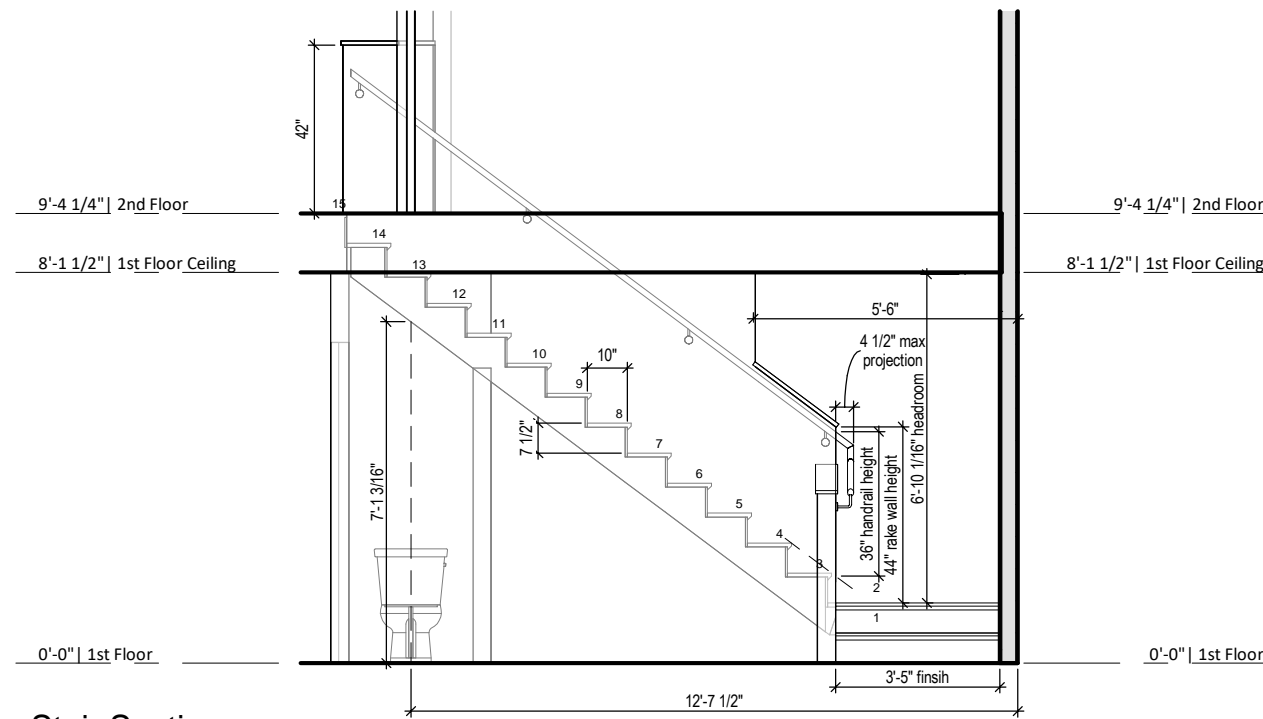
2 Kitchen 2  
1/4" = 1'-0"



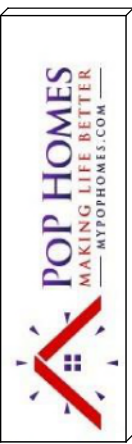
3 Owner's Bath  
1/4" = 1'-0"



4 Bath 2  
1/4" = 1'-0"



5 Stair Section  
1/4" = 1'-0"



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1710 RH - Elevation A & B 1Car 2Car

Interior Elevations

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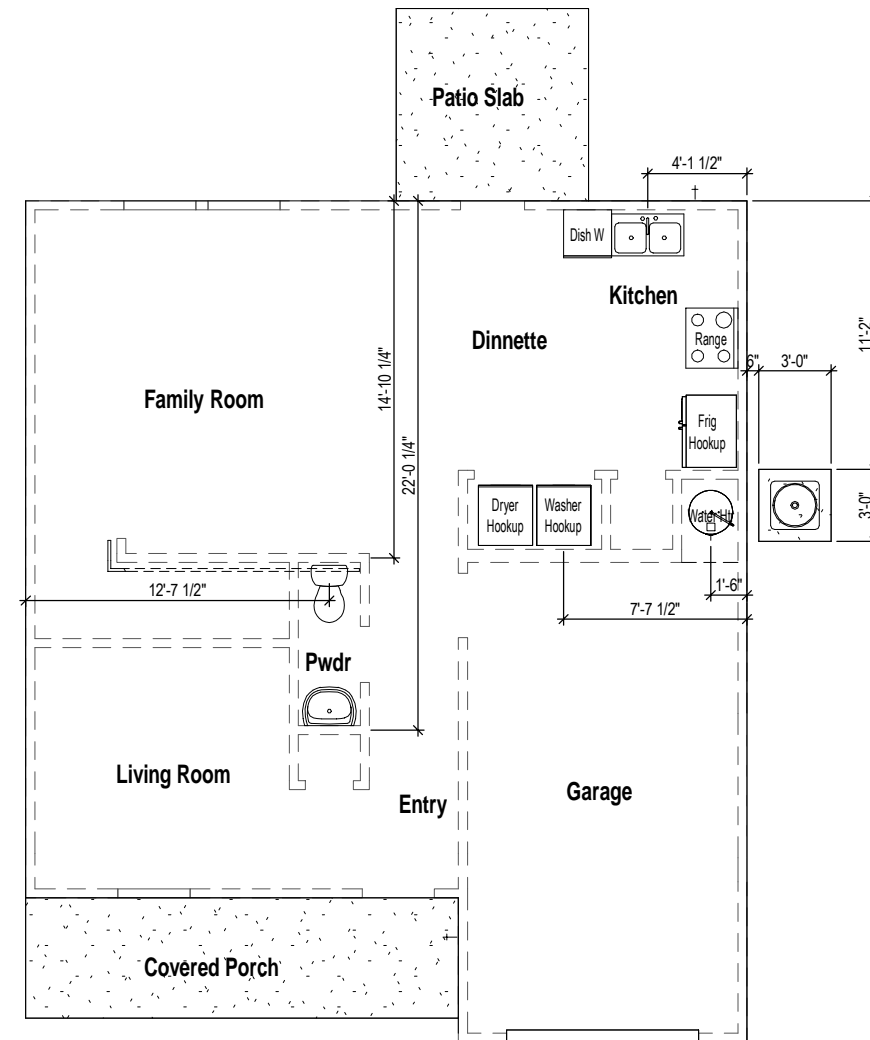
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Sheet #:

Pg7

# REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS



① Slab Penetrations  
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1710 RH - Elevation A & B 1Car 2Car

Slab Penetrations

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Sheet #:

Pg8