

Elevation B 2 Car - Sheet List	
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ElevB-2Car-Pg2	Side Elevations
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ElevB-2Car-Pg4	2nd Floor Plan
ElevB-2Car-Pg5	Roof Plan
ElevB-2Car-Pg6	Electrical & Flooring Plan
Pg7	Interior Elevations
Pg8	Slab Penetrations



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



① Front Elevation - Elev B - 2 Car Garage
 1/8" = 1'-0"



② Rear Elevation - Elev B - 2 Car Garage
 1/8" = 1'-0"

Area Schedule (Elev B 2Car)	
Name	Area
Heated	
1st Floor	595 SF
2nd Floor	913 SF
	1508 SF
Unheated	
Front Porch	73 SF
Garage	438 SF
	511 SF
Under Roof	2019 SF

1508 - Elevation B 2Car
 Front & Rear Elevations

Lot #: _____
 Address: _____
 Community: _____

Last Revision Date:
 11-27-23

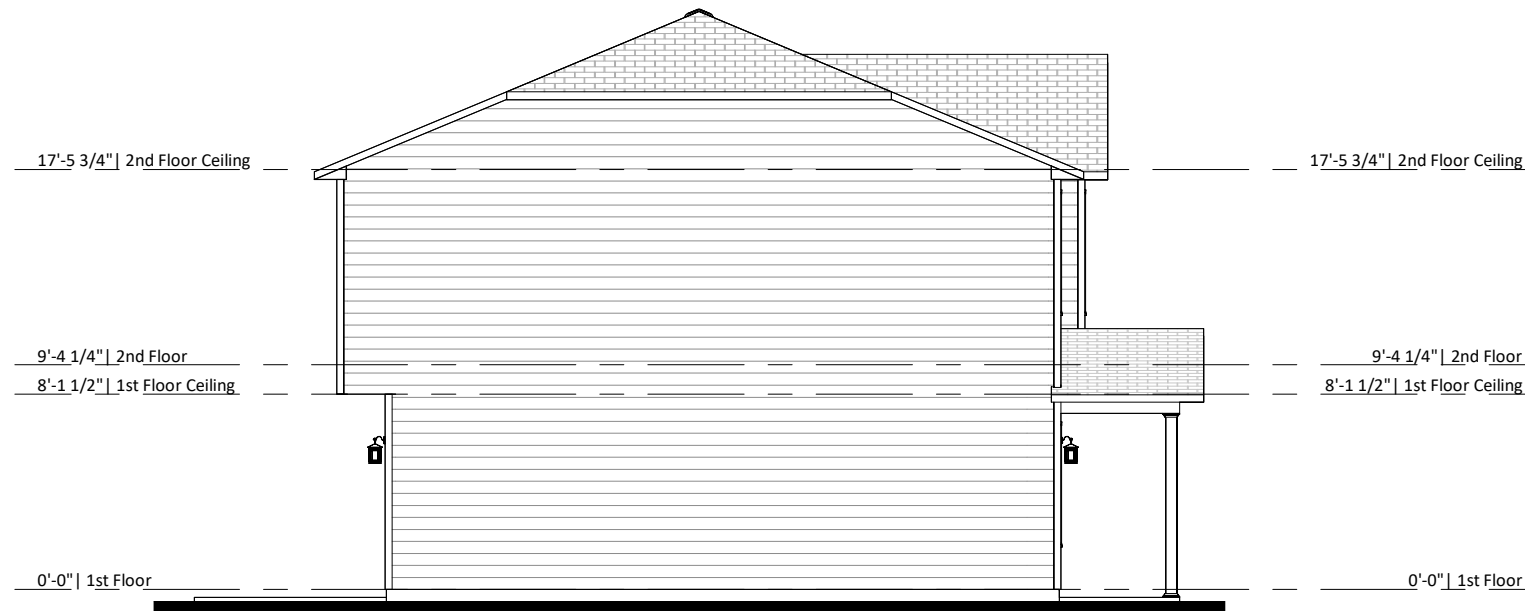
Sheet #:
 ElevB-2Car-Pg1



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



① Right Elevation - Elev B - 2 Car Garage
1/8" = 1'-0"



② Left Elevation - Elev B - 2 Car Garage
1/8" = 1'-0"

1508 - Elevation B 2Car

Side Elevations

Lot #:

Job #:

Address:

Community:

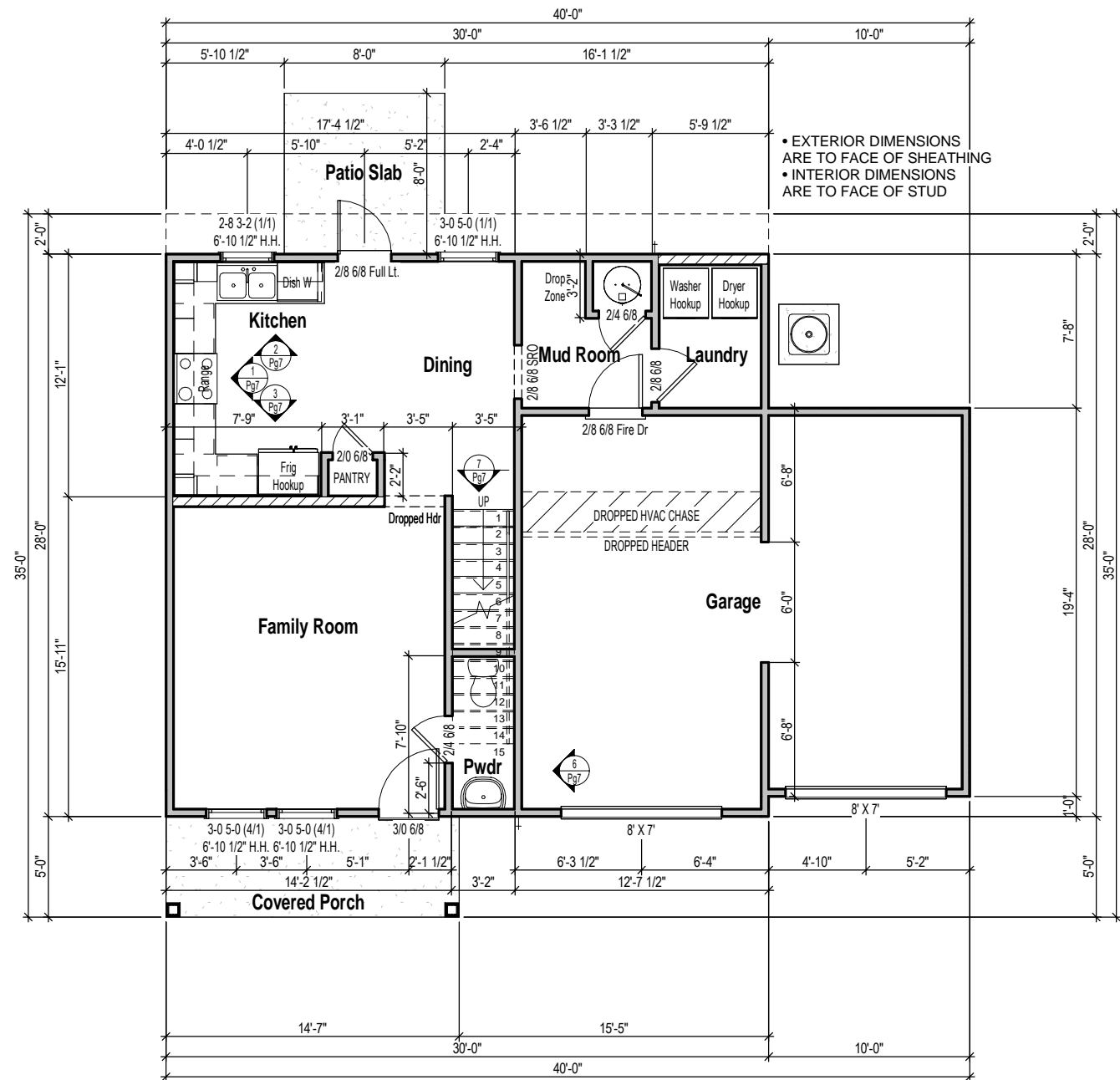
Last Revision Date:

11-27-23

Sheet #:

ElevB-2Car-Pg2

TABLE R302.6 Dwelling/Garage Separation	
Separation	Material
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor-ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent



• EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING
 • INTERIOR DIMENSIONS ARE TO FACE OF STUD

1 1st Floor Plan - Elev B - 2 Car Garage
 1/8" = 1'-0"



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1508 - Elevation B 2Car

1st Floor Plan

Lot #:

Job #:

Address:

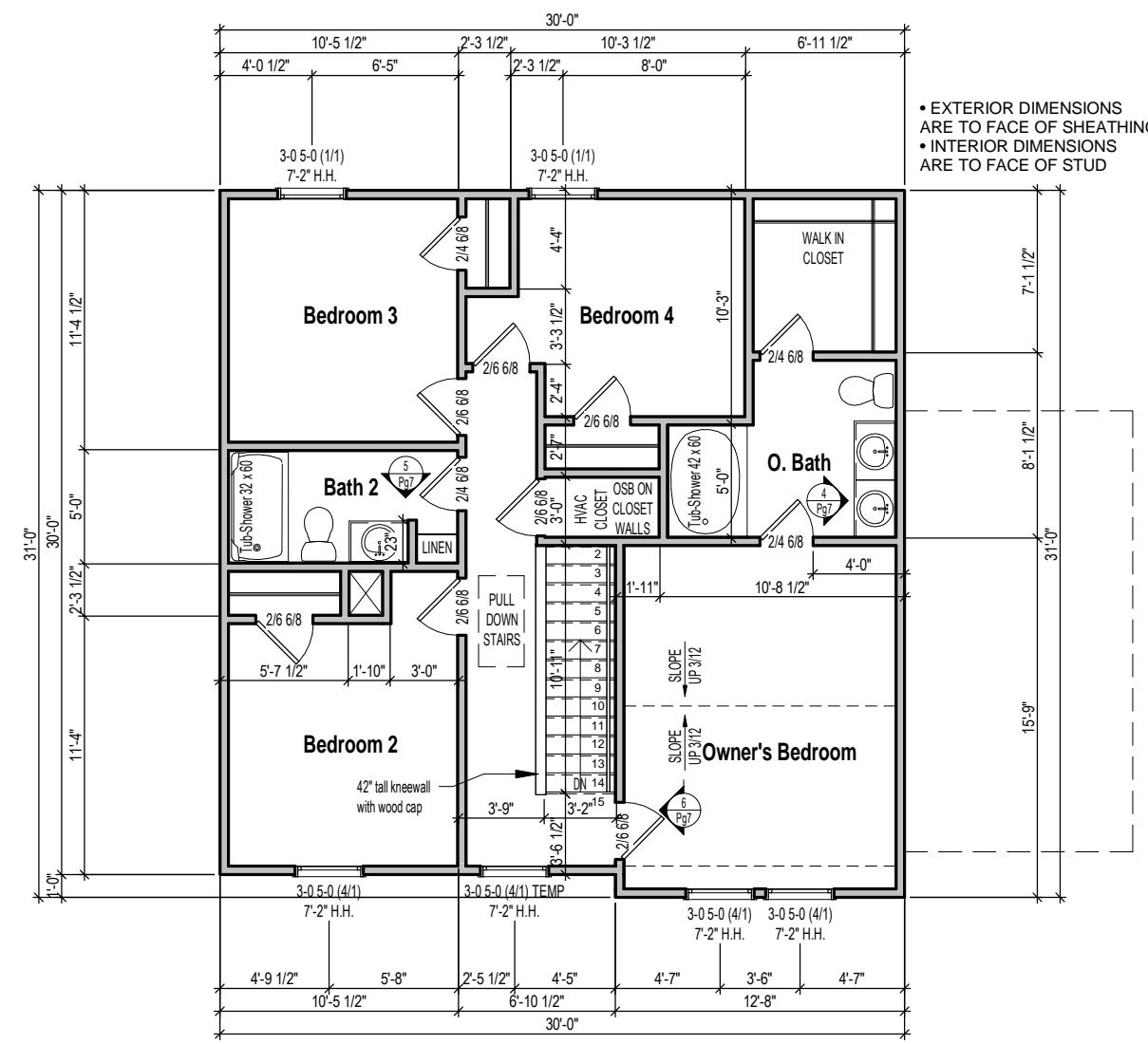
Community:

Last Revision Date:
 11-27-23

Sheet #:
 ElevB-2Car-Pg3



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1 2nd Floor Plan - Elev B - 2 Car Garage
 1/8" = 1'-0"

1508 - Elevation B 2Car

2nd Floor Plan

Lot #:

Job #:

Address:

Community:

Last Revision Date:

11-27-23

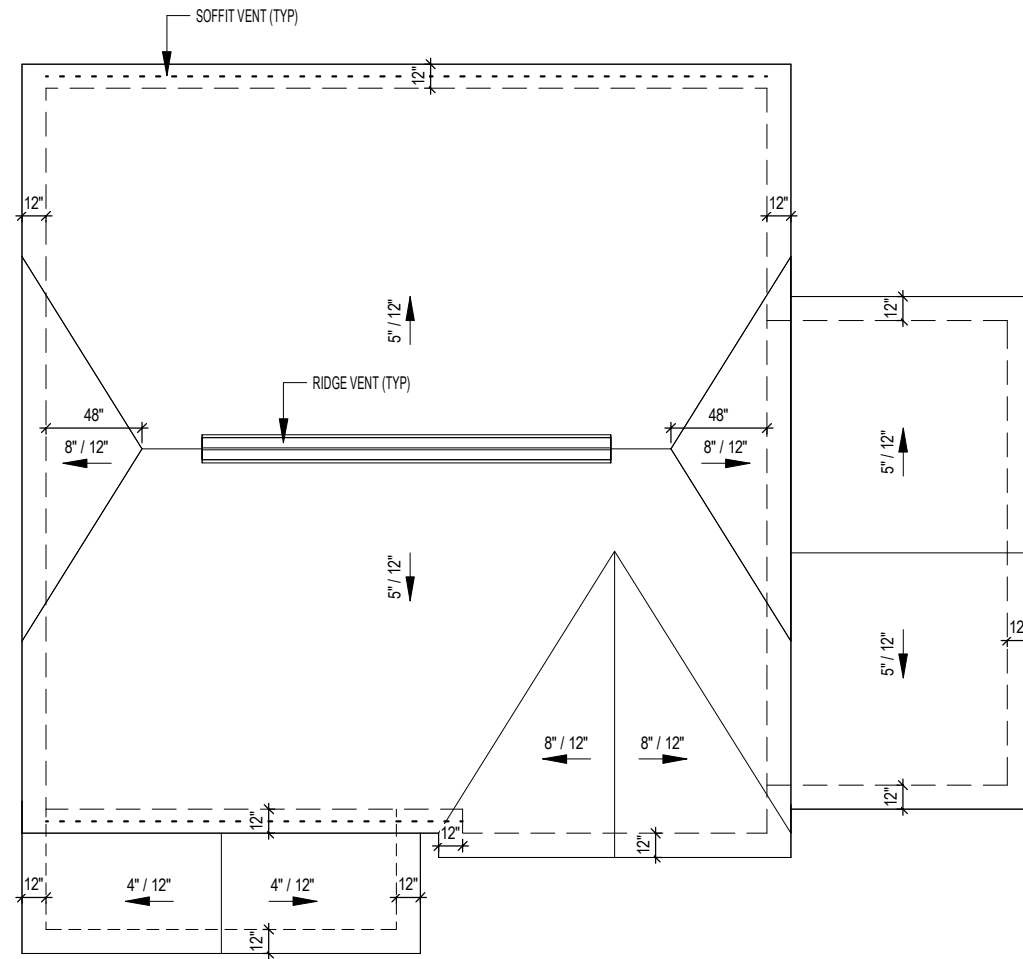
Sheet #:

ElevB-2Car-Pg4

Area Schedule (Attic Elev B)

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1039 SF	499	399	249	255	282	537	17	0	47

- CALCS BASED ON THE FOLLOWING VALUES**
- Ridge Vents = 15 in² of net free area per linear foot
 - Roof Vents = 50 in² of net free area per unit
 - Soffit Vents = 6 in² of net free area per square foot



① Roof Plan - Elev B - 2 Car Garage
1/8" = 1'-0"



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1508 - Elevation B 2Car

Roof Plan

Lot #:

Job #:

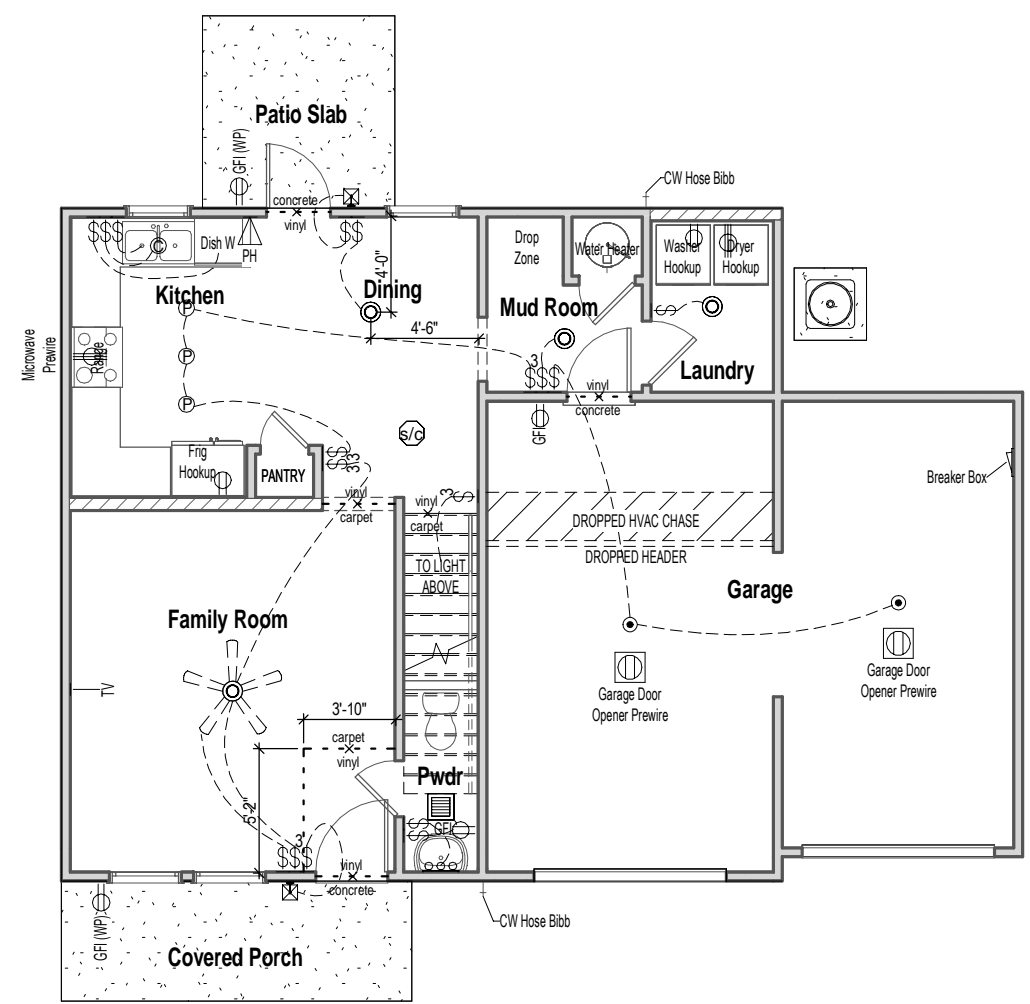
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Community:

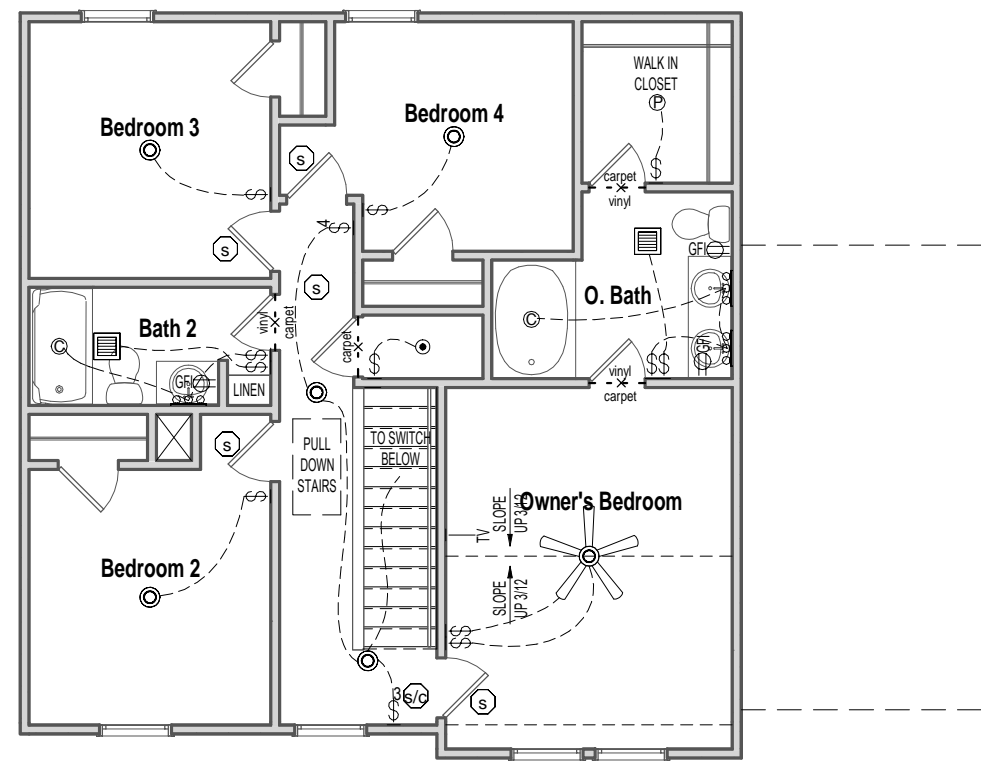
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ElevB-2Car-Pg5

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



1 1st Floor Electrical - Elev B - 2 Car Garage
1/8" = 1'-0"



2 2nd Floor Electrical - Elev B - 2 Car Garage
1/8" = 1'-0"

ELECTRICAL LEGEND

WALL MOUNTED FIXTURES			CEILING MOUNTED FIXTURES		
	OUTLET - 110V		OUTLET - TV		WALL LIGHT
	OUTLET - 110V GROUND FAULT INTERRUPTER		OUTLET - PHONE		18" LIGHT BAR
	OUTLET - 110V GROUND FAULT INTERRUPTER WATER PROOF		SWITCH - SINGLE POLE		COACH LIGHT - FRONT DOOR
	OUTLET - 220V		SWITCH - 3 WAY		COACH LIGHT - REAR DOOR
	FLUORESCENT 1'X4' 2 LAMPS		SWITCH - 4 WAY		KEYLESS
					GARAGE DOOR OPENER PREWIRE
					FLUSH MOUNT
					RECESSED CAN
					RECESSED CANLESS
					FLUSH MOUNT W-FAN PREWIRE
					FLUSH MOUNT W-FAN
					SMOKE DETECTOR
					SMOKE DETECTOR/CO2
					BATHROOM EXHAUST FAN

Outlets shown on the electrical layout are in addition to the outlets that shall be provided in accordance with International Residential Code Sections E3901.2 through E3901.11.

1508 - Elevation B 2Car

Electrical & Flooring Plan

Lot #:

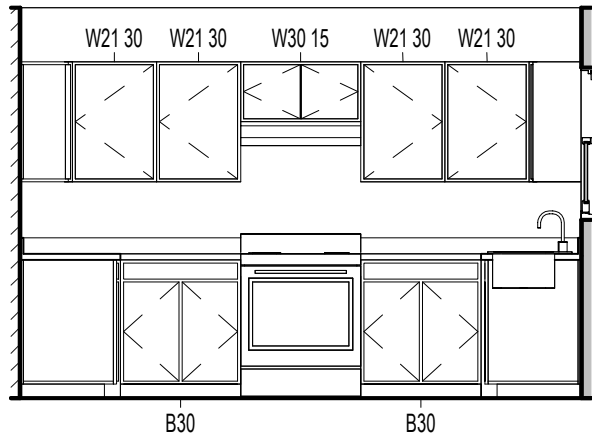
Job #:

Address:

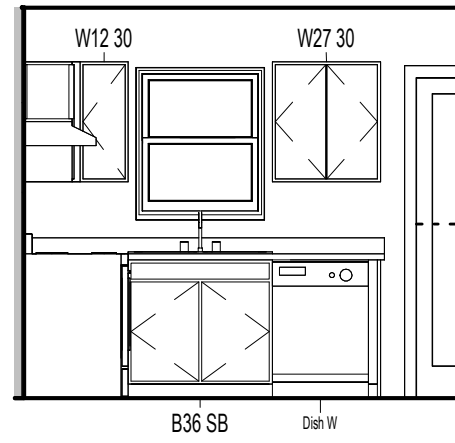
Community:

Last Revision Date:
11-27-23

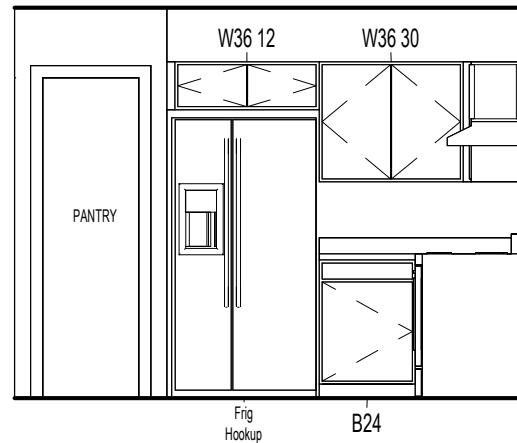
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ElevB-2Car-Pg6



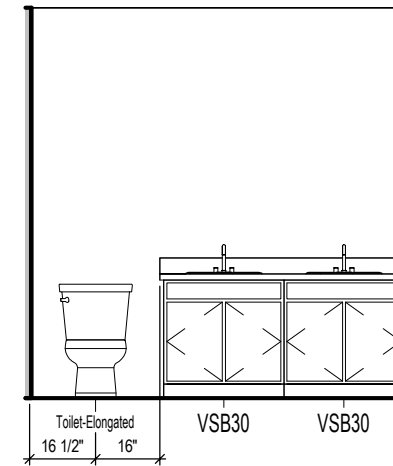
1 Kitchen 1
1/4" = 1'-0"



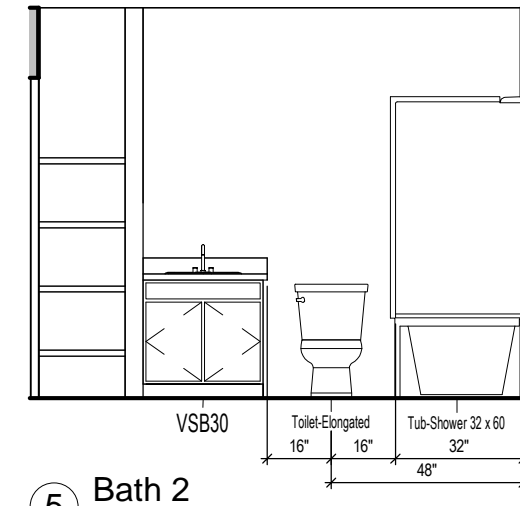
2 Kitchen 2
1/4" = 1'-0"



3 Kitchen 3
1/4" = 1'-0"



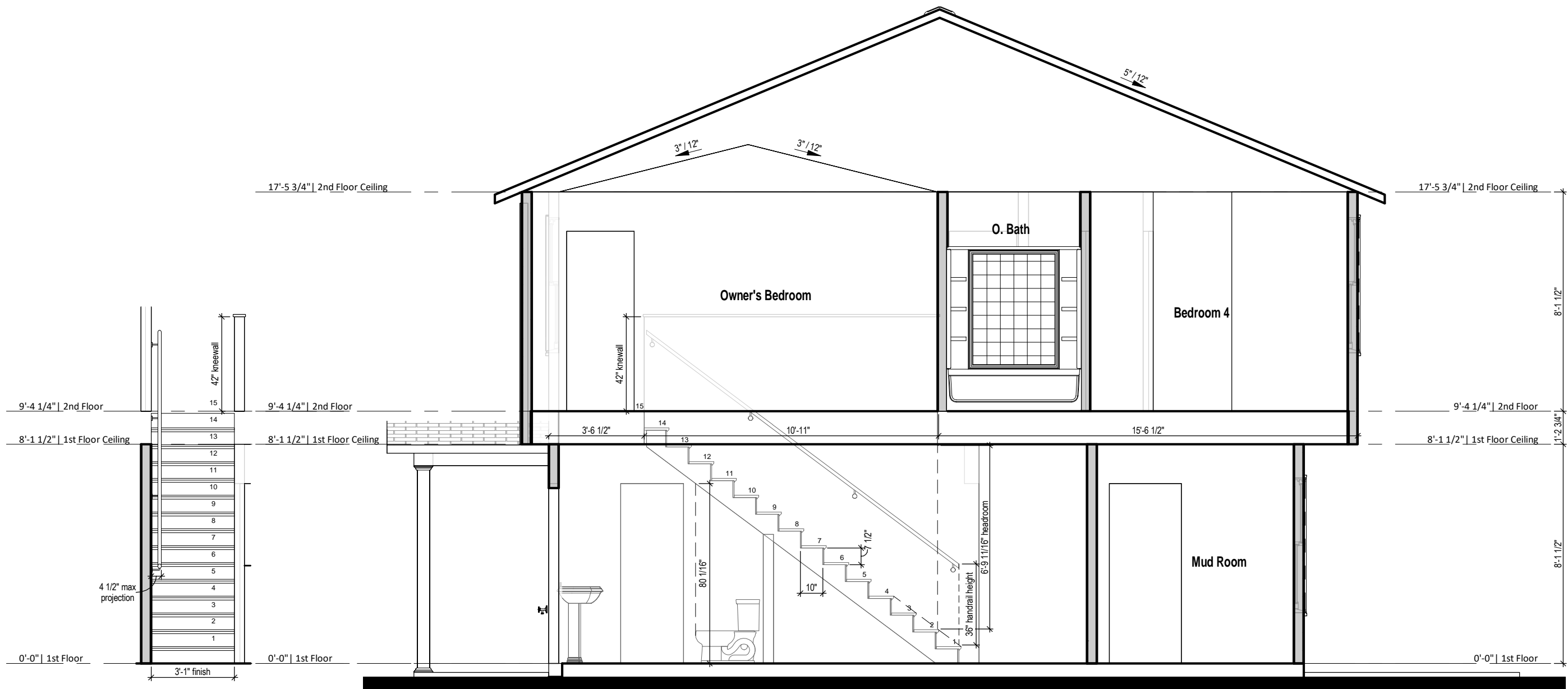
4 Owner's Bath
1/4" = 1'-0"



5 Bath 2
1/4" = 1'-0"

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7 Stair Section
1/4" = 1'-0"

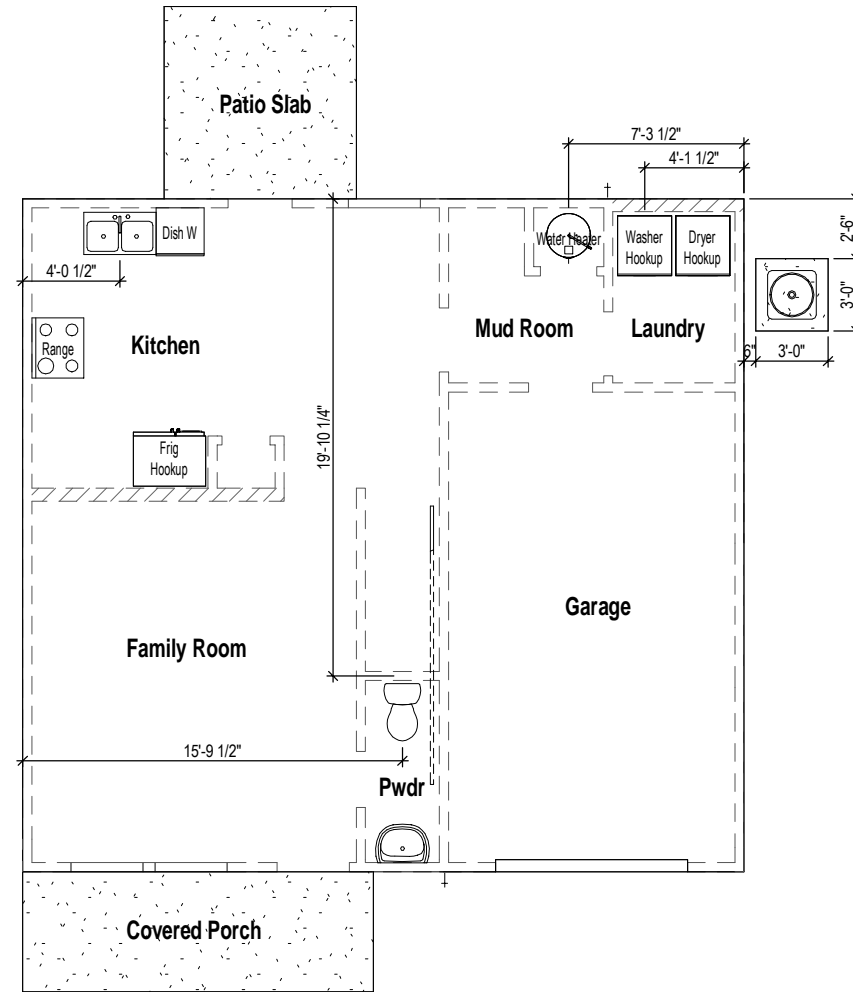
6 Building Section
1/4" = 1'-0"

1508 - Elevation A & B 1Car 2Car

Interior Elevations

Job #: _____ Lot #: _____
Address: _____ Community: _____
Last Revision Date: 11-27-23
Sheet #: Pg7

REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS



① Slab Penetrations
1/8" = 1'-0"



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1508 - Elevation A & B 1Car 2Car

Slab Penetrations

Lot #:

Job #:

Address:

Community:

Last Revision Date:

11-27-23

Sheet #:

Pg8